

<i>Article 6</i>	RESIDENTIAL SINGLE-FAMILY	R-SF
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229-46 INTENT

- A. The Residential Single-Family District is designed to promote the health, safety, and general welfare of the town’s neighborhoods as well as providing for their expansion along the same traditional lines with which they were established.
- B. It is anticipated that these regulations will ensure that new development is consistent with the adopted comprehensive plan.
- C. The residential single-family district is envisioned to contain any future large-scale developments and future sewer districts with large areas of open space preservation to maintain a more open suburban character.

229-47 A. PERMITTED USES

Single-Family Dwellings	Public Service Facilities
Home Occupations	Parks or playgrounds
Cemeteries	Schools
Pre-existing agricultural operations	Churches (under 10,000 sq. ft.)
Public utility facilities	

- B. Customary agricultural uses within the Residential Single-Family District shall be permitted only on lots that measure over five acres (5 ac.) in size. Any agricultural use pre-existing the adoption of this law that occurs on lots that measure less than five acres (5 ac.) in size may continue as a pre-existing non-conforming use.

229-48 USES PERMITTED WITH A SPECIAL EXCEPTION USE PERMIT

Bed & Breakfast Inns
Expanded home occupations
Telecommunication Towers (Chapter 178 of the Code of the Town of Clarence)
Secondary living units
Churches (over 10,000 sq. ft.)

229-49 LOT AREA PROVISIONS

LOT	DESCRIPTION	MINIMUM LOT SIZE	INCENTIVE LOT SIZE
	Sewered Large Lot	20,000 sq. ft.	15,000 sq. ft.
	Unsewered Large Lot	43,560 sq. ft.	32,670 sq. ft.

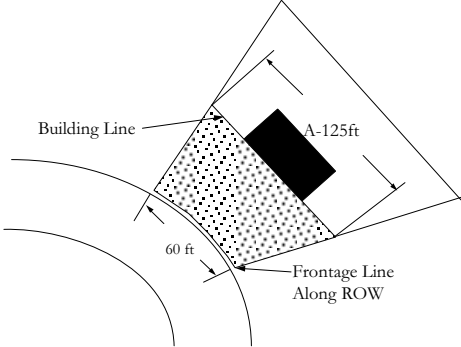
Incentive lots in this district can only be considered when twenty-five percent (25%) of the parent parcel is preserved as open space in perpetuity (for example: via a permanent conservation easement recorded in the property deed). Incentive lots may be granted only by the Town Board for major subdivisions and by the Planning Board for minor

<i>Article 6</i>	RESIDENTIAL SINGLE-FAMILY	R-SF
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subdivisions. To be considered for an incentive lot size, the minimum parent parcel lot size must be at least five acres (5 ac.). All other district regulations shall apply.

229-50 LOT WIDTH

- A. All lots must front along a minimum of one hundred twenty-five feet (125') of publicly dedicated road. Exception: Lots on public roads with curvature in excess of thirty (30) degrees must maintain a minimum sixty feet (60') of public road frontage.
- B. Corner lots must have a minimum of 200 ft. of publicly dedicated R-O-W on each public street. In areas served by public sewer service, the minimum may be reduced to 125 ft. of publicly dedicated R-O-W on each public street.
- C. Minimum lot width at the building line:
 Standard RS-F Lot – 125'
 Incentive Lot – 100'
- D. For any lot platted prior to the adoption of this law and recorded in the Erie County Clerk's Office prior to the date of adoption, minimum lot width shall be one hundred feet (100').



229-51 BUILDING SIZE

No building or buildings exclusive of accessory buildings, porches, entries, garages, and terraces, shall contain less than one thousand three hundred fifty square feet (1,350 sq. ft.) for a one story building, nor less than nine hundred square feet (900 sq. ft.) of usable first floor living space if more than one story and a total of at least one thousand five hundred square feet (1,500 sq. ft.) of usable space in all.

229-52 SETBACKS

- A. Front yard:
 - 1) On lots with an established building setback line shown on a filed subdivision plat, no building or accessory building shall extend closer to a street or highway right-of-way than said established building setback line, nor shall any dwelling be erected or otherwise located so that the front building line lies more than ten feet (10') from the established building setback line.
 - 2) On lots in undeveloped areas not shown on a filed subdivision plat, no building or accessory building shall extend closer to the street or highway right-of-way than forty-five feet (45'), nor shall any dwelling be erected or otherwise located so that the front building line lies more than one hundred feet (100') from the street or highway right-of-way.

<i>Article 6</i>	RESIDENTIAL SINGLE-FAMILY	R-SF
------------------	------------------------------	-------------

3) On lots in developed areas not shown on a filed subdivision plat, no building or accessory building shall extend closer to a street or right-of-way than a building line established by the Zoning Code Enforcement Officer after review and examination of the existing structures within five hundred feet (500') of the proposed building. Said line shall in no case be closer than thirty-five feet (35') from the street or highway right-of-way. No building in any such developed area shall be erected or otherwise located with its front building line more than ten feet (10') behind the building line so established by the Zoning Code Enforcement Officer. The determination of the Zoning Code Enforcement Officer establishing a building line may, upon proper application, be subjected to review and modification by the Zoning Board of Appeals (see chapter 7).

4) The standard minimum setbacks shall be as follows:

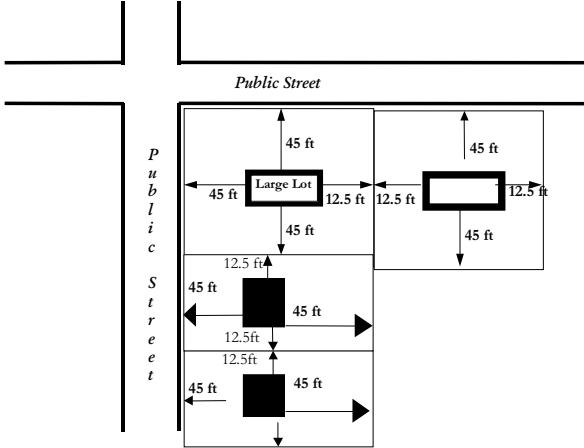
- Front - 45'-100'
- Side - 12.5'
- Rear - 45'

B. Side yard:

Side yards, which abut a public or private street, shall have the same minimum setback as the front yard setback. Minimum side yards for side load garages shall extend no closer than twenty-eight feet (28') to the side lot line. There shall be a minimum of a three-foot (3') setback requirement from any lot line along a driveway for required drainage. No principal building, exclusive of eaves or cornices, shall extend closer than twelve and one-half feet (12.5') to either side lot line.

C. Rear yard:

No principal building shall extend closer than forty-five feet (45') to the rear lot line, except that on a lot extending through from street to street or highway to highway, the front yard requirements on each street or highway shall be observed.



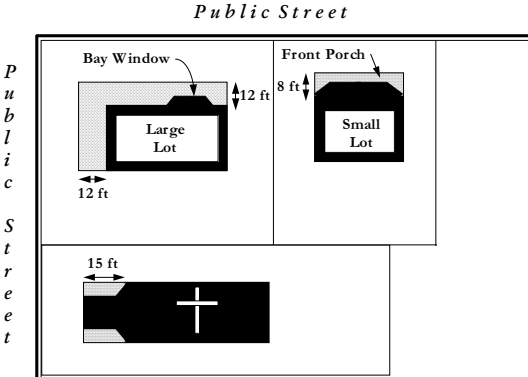
229-53 ENCROACHMENTS

A. Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways shall be permitted to extend within the minimum front setback, to a maximum of twelve feet (12'). Open patios and decks in rear yards may extend up

<i>Article 6</i>	RESIDENTIAL SINGLE-FAMILY	R-SF
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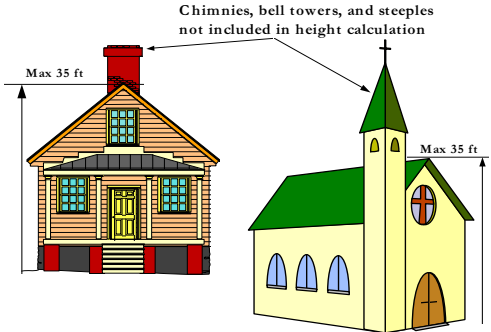
to twelve feet (12') into the setback area.

- B. Side yards that abut a public street shall be treated as described above. Hedges, garden walls, or fences may be built on property lines or as a continuation of building walls.



229-54 BUILDING HEIGHT

- A. The vertical distance from the mean elevation of the finished grade relative to the frontage street, to the ridgeline of the structure.
- 1) All uses - 35 ft.
- B. Exceptions:
- 1) Roof equipment not intended for human occupancy and which is necessary to the structure upon which it is placed.



229-55 ACCESSORY STRUCTURES

- A. The following uses are permitted within outbuildings:
- | | |
|----------------------|----------------|
| Parking facilities | Saunas |
| Gazebos | Workshops |
| Poolhouses | Conservatories |
| Equipment Enclosures | Sheds |

*Agricultural Support Structures (see below)

- B. Trash containers, mechanical equipment and outdoor storage shall be located only within the rear yard and be screened from public view.
- C. Mailboxes, newspaper boxes, walls, fences, birdhouses, flagpoles, pump covers, and school bus shelters may be placed in any front, side or rear yard. Doghouses may be placed in rear yards only.

Article 6	RESIDENTIAL SINGLE-FAMILY	R-SF
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D. Attached accessory structures shall not exceed 40% of the total area of the principal structure or 960 sq. ft., whichever is smaller. Detached accessory structures shall not exceed 720 sq. ft. At no time shall the total area of an accessory use exceed 20% of the rear yard. Such uses shall only be permitted in the rear and side yards.

E. Minimum side and rear setbacks: 10'/5' if in rear yard.
Minimum setback from principal structure: 6'
Maximum height: 16'

F. Accessory structures with a total area exceeding four hundred square feet (400 sq. ft.) shall be constructed using materials and features similar to the principal structure.

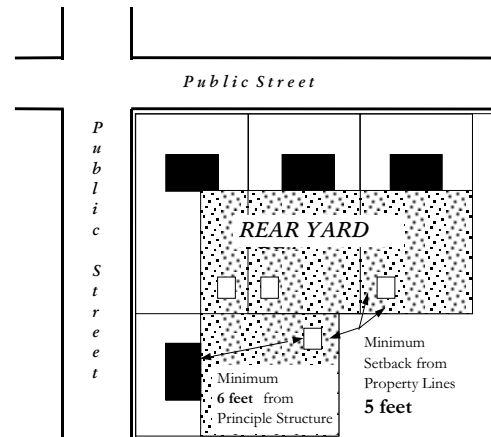
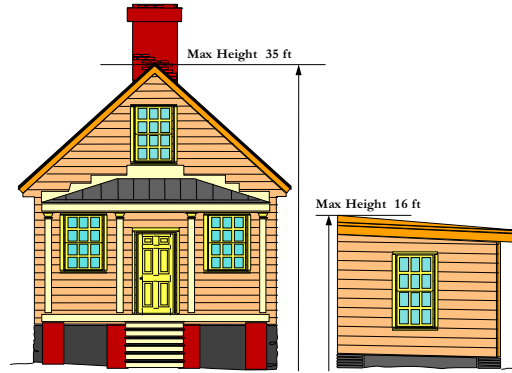
G. Outbuildings in rear yards that abut a publicly dedicated street must have a minimum setback equal to the front yard setback.

H. Only one private garage is allowed whether attached or detached and two accessory buildings up to two hundred square feet (200 sq. ft.) on any one lot where a principal building exists.

I. No overhead door shall exceed 9' in height.

J. No accessory building may be built without a principal building on the lot.

K. Customary agricultural outbuildings shall be permitted on any lot that has a permitted agricultural operation. There shall be no limitation on the size of an agricultural outbuilding, but they shall meet all other regulations in this section.



229-56 LOT COVERAGE

The maximum building footprint for any residential lot shall not exceed eighteen percent (18%) for a single-story structure and thirteen percent (13%) for a two-story structure of the entire lot area for any principal structure. The building footprint shall include all aspects of the principal structure under a roof and over a foundation, excluding exposed porches and including attached garages. This footprint shall not include any accessory buildings or detached garages, which meet requirements as herein stipulated.